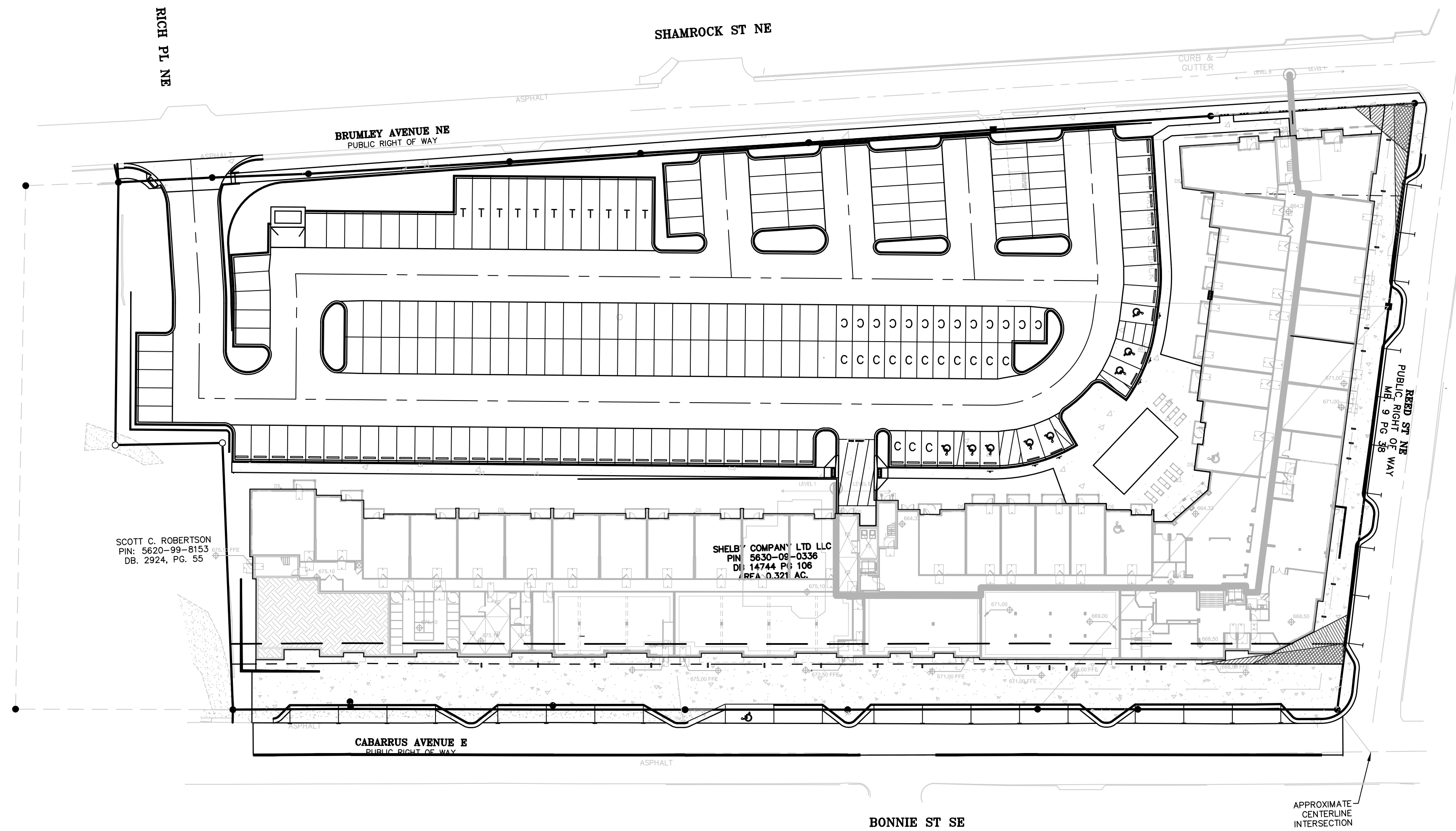


171 CABARRUS MIXED USE

118 BRUMLEY AVE NE CONCORD, NC 28025

1" = 40'



SCOTT C. ROBERTSON
PIN: 5620-99-9153
DB: 2824, PG. 55

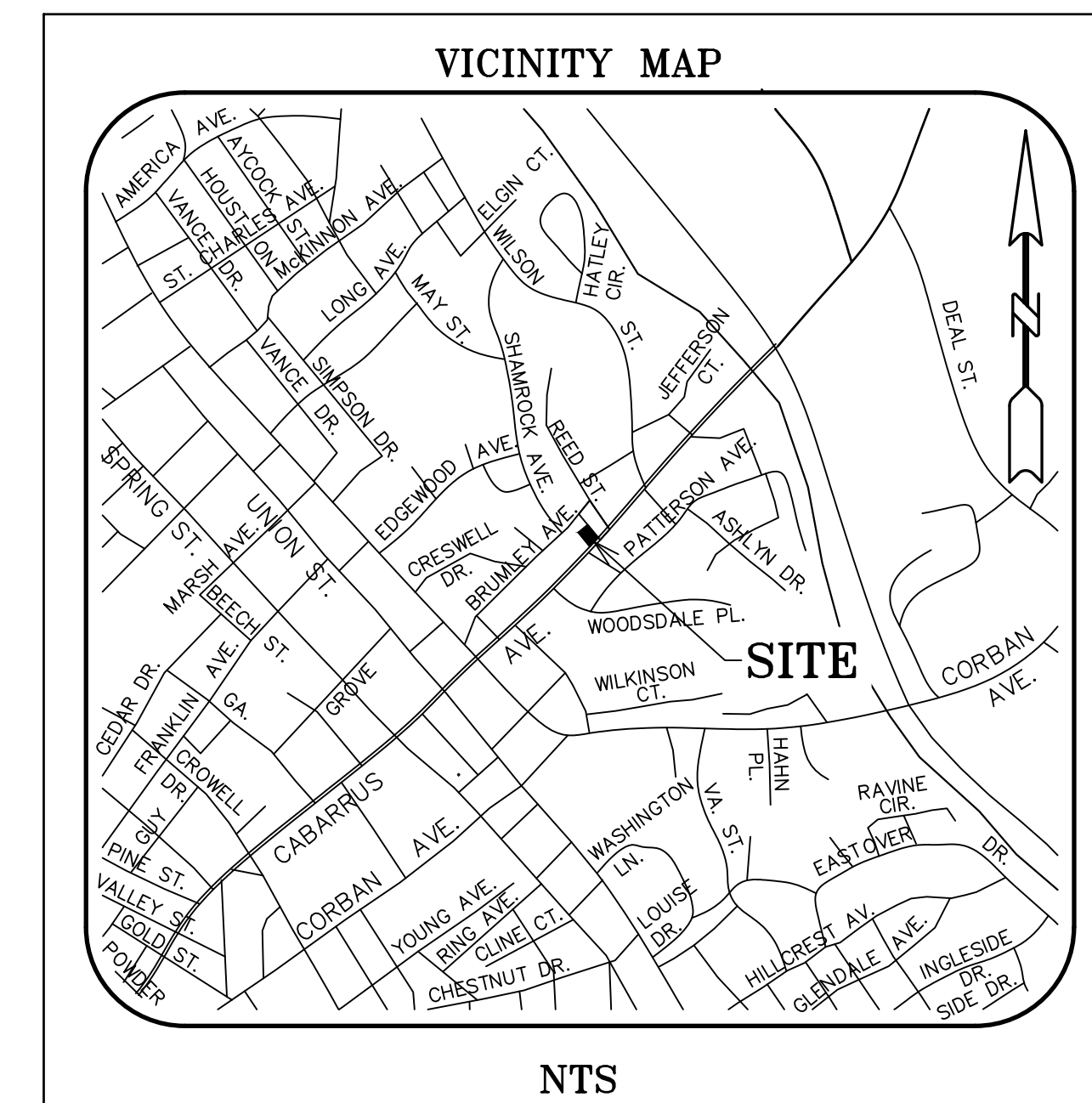
SHELBY COMPANY LTD LLC
PIN: 5630-09-0336
DI: 14744, PG. 106
REA: 0.321 AC.

DRAWING INDEX	
SHEET	DESCRIPTION
C001	GENERAL NOTES AND SPECIFICATIONS
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	SITE LAYOUT PLAN
C201	AUTOTURN EXHIBIT
C210	SITE DETAILS (1 OF 2)
C211	SITE DETAILS (2 OF 2)
C220	OFF-SITE IMPROVEMENTS
C221	STRIPING PLAN
C222	CABARRUS AVE E (CROSS SECTIONS 1 OF 7)
C223	CABARRUS AVE E (CROSS SECTIONS 2 OF 7)
C224	CABARRUS AVE E (CROSS SECTIONS 3 OF 7)
C225	CABARRUS AVE E (CROSS SECTIONS 4 OF 7)
C226	CABARRUS AVE E (CROSS SECTIONS 5 OF 7)
C227	CABARRUS AVE E (CROSS SECTIONS 6 OF 7)
C228	CABARRUS AVE E (CROSS SECTIONS 7 OF 7)
C300	GRADING PLAN
C301	DRAINAGE PLAN
C302	SPOT GRADE SHEET
C303	CUT FILL HEAT MAP
C304	RETAINING WALL PROFILE (1 OF 2)
C305	RETAINING WALL PROFILE (2 OF 2)
C306	CONTECH DETAILS
C310	GRADING AND DRAINAGE DETAILS
C400	PHASE 1 EROSION CONTROL PLAN
C401	PHASE 2 EROSION CONTROL PLAN
C410	EROSION CONTROL DETAILS
C411	GROUND STABILIZATION AND MATERIALS HANDLING
C412	SELF-INSPECTION, RECORDKEEPING AND REPORTING
C600	UTILITY PLAN
C601	UTILITY SERVICES PLAN AND PROFILE
C610	UTILITY DETAILS
L100	LANDSCAPING PLAN
L110	LANDSCAPING DETAILS
WQ100	PRE-DEVELOPMENT DRAINAGE MAP
WQ101	POST-DEVELOPMENT DRAINAGE MAP

REVISION	DATE	DESCRIPTION

171 CABARRUS MIXED USE
COVER SHEET

171 CABARRUS AVENUE, CONCORD, NC
LEVEL 2 DEVELOPMENT
PROJECT NO. 23081
PROJECT MANAGER:



PROJECT INFORMATION

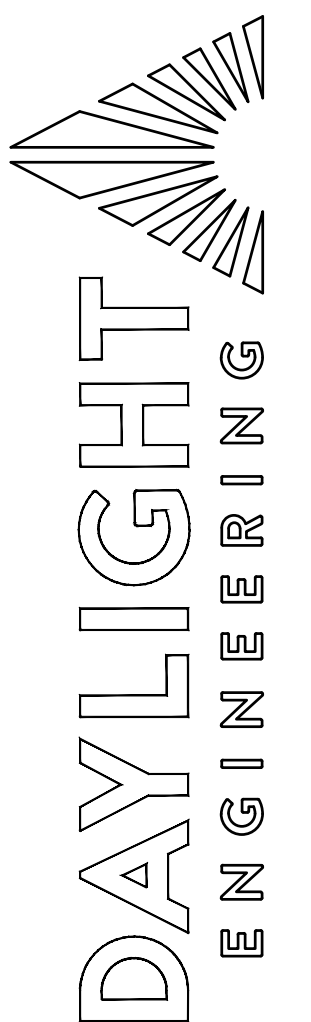
PROJECT ADDRESS: 118 BRUMLEY AVE. NE, CONCORD, NC 28025
 PARCEL PIN NUMBER: 5620-99-7282, 5620-99-8225, 5620-99-9106, 5620-99-9226, 5620-99-9362, 5620-99-9473, 5630-09-0336, 5630-09-1329, 5630-09-2510, 5630-09-1655
 ACREAGE: 3.821 AC
 ZONING: CC
 WATER SYSTEM: CITY OF CONCORD
 SEWER SYSTEM: CITY OF CONCORD
 ELECTRICAL PROVIDER: CITY OF CONCORD
 GAS PROVIDER: PIEDMONT NATURAL GAS

CLIENT INFORMATION

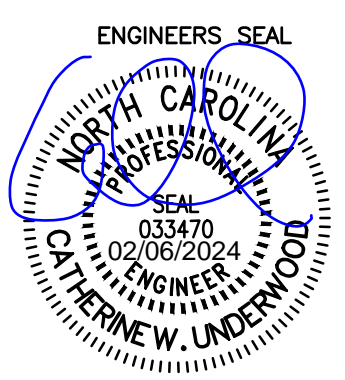
COMPANY ADDRESS: LEVEL 2 DEVELOPMENT, 1717 K ST. NW STE. 900, WASHINGTON, DC 20006
 CLIENT CONTACT: PETER MURPHY, VICE PRESIDENT, 219-680-8837, pmurphy@level2development.com
 CONTRACTOR ADDRESS: REHAB BUILDERS, 401 4TH ST E, WINSTON-SALEM, NC 27101
 CONTRACTOR CONTACT: JOSH LIPSKY, 336-215-7849, jlipsky@rehabbuilders.com

DESIGNER INFORMATION

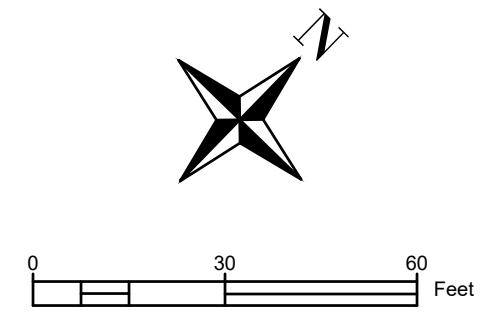
CIVIL ENGINEER: DAYLIGHT ENGINEERING, P-2772, P.O. BOX 1804, CONCORD, NC, 28026-1804
 ENGINEER LICENSE ADDRESS: KATE UNDERWOOD, PhD, PE, 033470, kate@daylighteng.com, 980-234-7500
 ARCHITECT ADDRESS: MATT BROWN, AIA, 333 W. TRADE ST., SUITE 200, CHARLOTTE, NC 28202, mbrown@axiomarchitecture.com, 704-927-9900

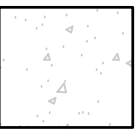
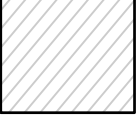



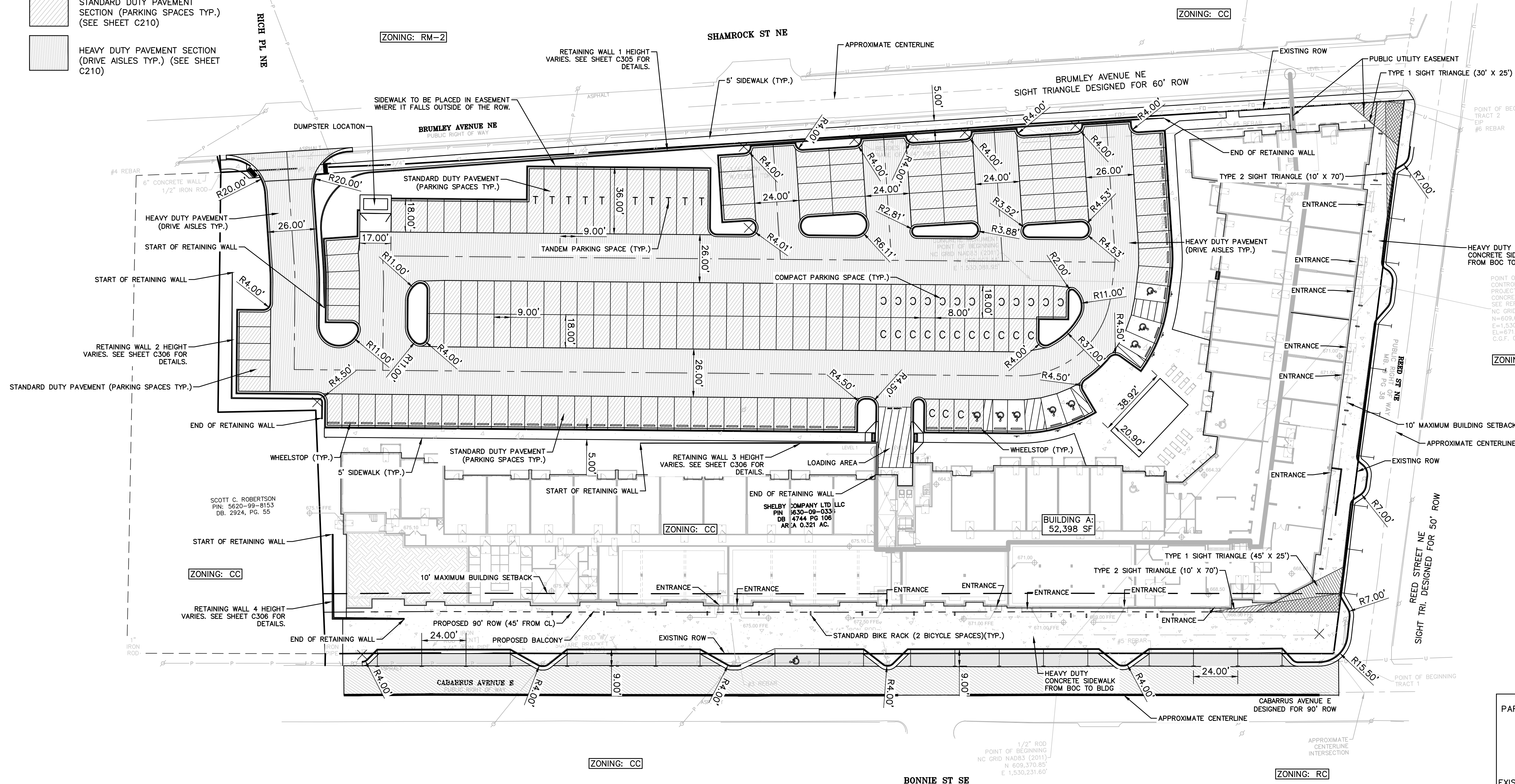
NCBELS LICENSE: P-2772
 165 BRUMLEY AVE. NE, CONCORD, NC 28025 • (980) 234-7500 • WWW.DAYLIGHTENG.COM



CVR



-  HEAVY DUTY CONCRETE PAVEMENT (SEE SHEET C211)
-  STANDARD DUTY PAVEMENT SECTION (PARKING SPACES TYP.) (SEE SHEET C210)
-  HEAVY DUTY PAVEMENT SECTION (DRIVE AISLES TYP.) (SEE SHEET C210)



SCOTT C. ROBERTSON
PIN: 5620-99-8153
DB: 2924, PG. 55

SHELBY COMPANY LTD LLC
PIN: 6330-09-0333
DB: 4744 PG 106
AR: A 0.321 AC.

POINT OF LOCALIZATION CONTROL POINT #1 & ALSO PROJECT BENCH MARK CONCRETE MONUMENT SEE REFERENCE #5
NC GRID NAD: 83 (2011)
N=609,634.78'
E=1,530,231.42'
EL=871.09 NAVD83
C.G.F. 0.9998493824

BICYCLE PARKING CALCULATIONS:
PER TABLE 10.4-1 (CONCORD DEVELOPMENT ORDINANCE):
OFFICE - 4 SPACES PLUS 1:15,000 GFA
4 + (1/15,000) * 12,720 SF = 5 SPACES
MULTI-FAMILY DWELLINGS - 1 SPACE/5 UNITS
(1 SPACE/5 UNITS) * 225 UNITS = 45 SPACES
TOTAL REQUIRED SPACES: 5+45 = 50 SPACES
PROVIDED SPACES: 50 SPACES (25 STANDARD BIKE RACKS)

NOTE: PARKING IS NOT REQUIRED IN THE CC ZONING DISTRICT, HOWEVER THE FOLLOWING PARKING SPACES ARE PROVIDED:

TOTAL ON STREET PARKING	22 SPACES
CABARRUS AVE. STREET PARKING:	15 SPACES, 1 HANDICAP
REED STREET PARKING SPACES:	7 SPACES
TOTAL ON SITE PARKING	193 SPACES
COMPACT SPACES:	39 SPACES
TANDEM SPACES:	11 SPACES
HC SPACES:	8 SPACES
STANDARD SPACES:	135 SPACES

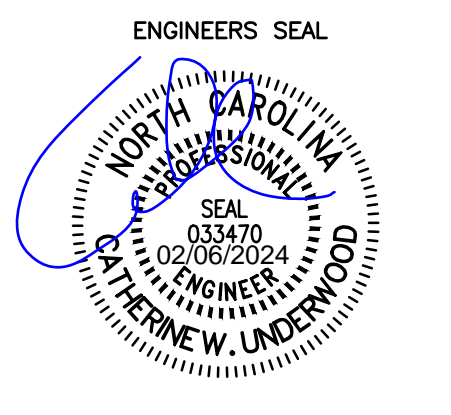
ON-SITE IMPERVIOUS AREA SUMMARY	
TYPE	AREA (SQ. FT.)
BUILDING	52,398 SF
ASPHALT	68,243 SF
CURB AND GUTTER	3,195 SF
CONCRETE	10,000 SF
TOTAL ON-SITE IMPERVIOUS	133,836 SF

SITE DATA TABLE	
PARCEL NUMBER:	5620-99-7282, 5620-99-8225, 5620-99-9105, 5620-99-9226, 5620-99-9362, 5620-99-9473, 5630-09-0336, 5630-09-1329, 5630-09-2510, 5630-09-1655.

EXISTING ZONING:	CC
PROPOSED ZONING:	CC
PROPOSED USE:	RESIDENTIAL
MAX. BUILDING HEIGHT	75 FT.
SETBACKS:	
MIN FRONT SETBACK	-
MAX FRONT SETBACK	10 FT.
SIDE SETBACK	-
REAR SETBACK	-
MIN. LOT WIDTH	-
MIN. LOT DEPTH	-
PROPOSED UNITS:	220 UNITS
COMMERCIAL SPACE:	11,000 SF

171 CABARRUS MIXED USE
SITE LAYOUT PLAN
171 CABARRUS AVENUE, CONCORD, NC
LEVEL 2 DEVELOPMENT
PROJECT NO. 23081
PROJECT MANAGER:

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
165 BRUMLEY AVE. NE, CONCORD, NC 28025 • (980) 234-7500 • WWW.DAYLIGHTENG.COM



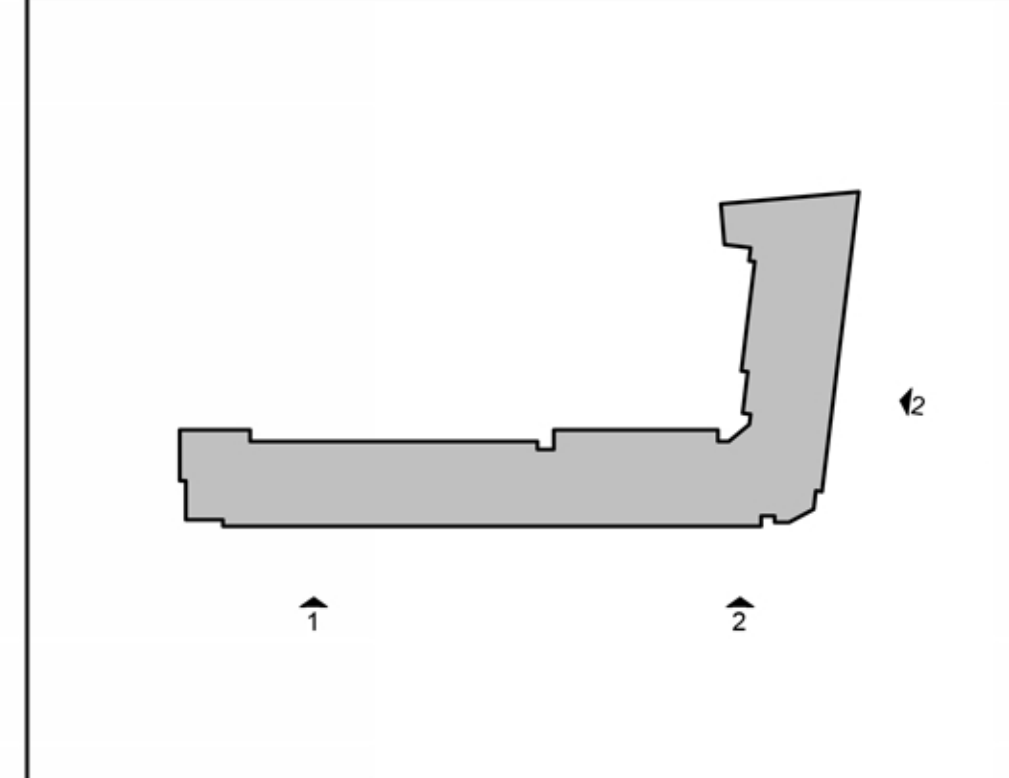
C200

EXTERIOR NOTES

- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL VENEER INFORMATION AND SEGMENT PLANS / CIVIL DWGS. FOR GRABINS INFORMATION.
- WRAP EXTERIOR VENEER FROM PRIMARY FACADE ONTO SIDE BALCONY WALLS UNLESS NOTED OTHERWISE ON UNIT PLANS OR WALL SECTIONS. AT WOOD FRAMED LEVELS, PROVIDE FIBER-CEMENT PANEL AND TRIM VENEER ON SIDE WALLS WHERE BRICK IS SHOWN ON EXTERIOR OF THE BUILDING, UNLESS NOTED OTHERWISE.
- ALL PENETRATIONS INCLUDING MECHANICAL DUCTS, ELECTRICAL LINES, WINDOWS AND DOORS TO BE SEALED AND FLASHED AT THE PRIMARY MOISTURE BARRIER. SEE WATERPROOFING DETAILS FOR MORE INFORMATION. PROVIDE QUICKFLASH COMPONENTS AT WALL PENETRATIONS PER IAB X WHEN APPLICABLE.
- ALL HORIZONTAL VENT PIPING PENETRATING THE EXTERIOR WALL SHALL BE INSTALLED WITH POSITIVE SLOPE TO THE EXTERIOR.
- PROVIDE 1" SELF-ADHERING BUTYL MEMBRANE OVER SHEATHING AT ALL INSIDE AND OUTSIDE CORNERS.
- INSTALL BUILDING WRAP CONTINUOUS AT WALLS PRIOR TO INSTALLATION OF EXTERIOR FINISHES. USE FASTENERS WITH PLASTIC CAPS. NO STAPLES WILL BE ALLOWED.
- INSTALL SELF-ADHERING MEMBRANE BEHIND MASONRY ANCHORS WHEN INSTALLED.
- PROVIDE CONTROL JOINTS IN BRICK VENEER AT MAX 30' O.C. AND WITHIN 10'-0" OF CORNERS. PLACE CONTROL JOINTS AS INDICATED ON ELEVATIONS - AT INSIDE CORNERS AND CORNERS OF OPENINGS.
- PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS AND MIN. 3/8" SEALANT Joints AT ALL TRANSITIONS BETWEEN FINISHES / MATERIALS.
- SEAL TOP OF ALL FLASHING TO MOISTURE BARRIER.
- PROVIDE URETHANE TRAFFIC COATING AT ALL CONCRETE PODIUM BALCONIES.
- ALL BALCONIES AND PATIOS SHALL STEP DOWN 1/4" FROM INTERIOR FFE. SLOPE GROUND LEVEL PATIOS 1/4" / FT. AWAY FROM BUILDING AND FEATHER SLAB UP AT ALL DOORS TO BE FLUSH WITH INTERIOR FFE. SEE WALL SECTIONS AND CIVIL DWGS. FOR ADDITIONAL INFORMATION.
- PROVIDE MEMBRANE FLASHING AT TRANSITION BETWEEN WOOD FRAMED WALLS AND ELEVATED CONCRETE SLAB OR CMU STAIR / ELEVATOR WALLS.
- ALL EXPOSED STEEL TO BE GALVANIZED AND PAINTED TO MATCH ADJACENT MATERIAL COLOR UNLESS PRE-FINISHED FACTORY COMPONENTS. ALL EXPOSED ALUMINUM COMPONENTS TO BE PRE-FINISHED PER AAMA 2604 STANDARDS.
- METAL T-STOPS AT BALCONY EDGE TO BE FACTORY PAINTED TO MATCH BALCONY EDGE TRIM COLOR.
- ALL GROUND FLOOR GLAZING TO BE CLEAR GLASS - TYPICAL ALL ELEVATIONS. SEE A0.2 AND A10.0 FOR ENERGY PERFORMANCE REQUIREMENTS.

NOT FOR CONSTRUCTION

ELEVATION KEY

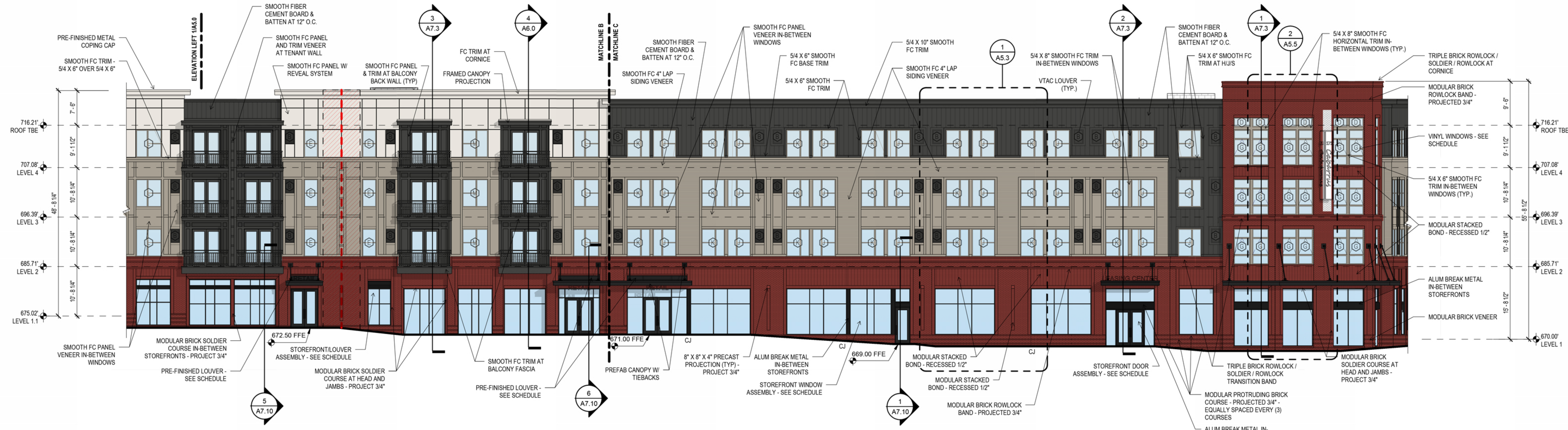


EXTERIOR MATERIAL SCHEDULE

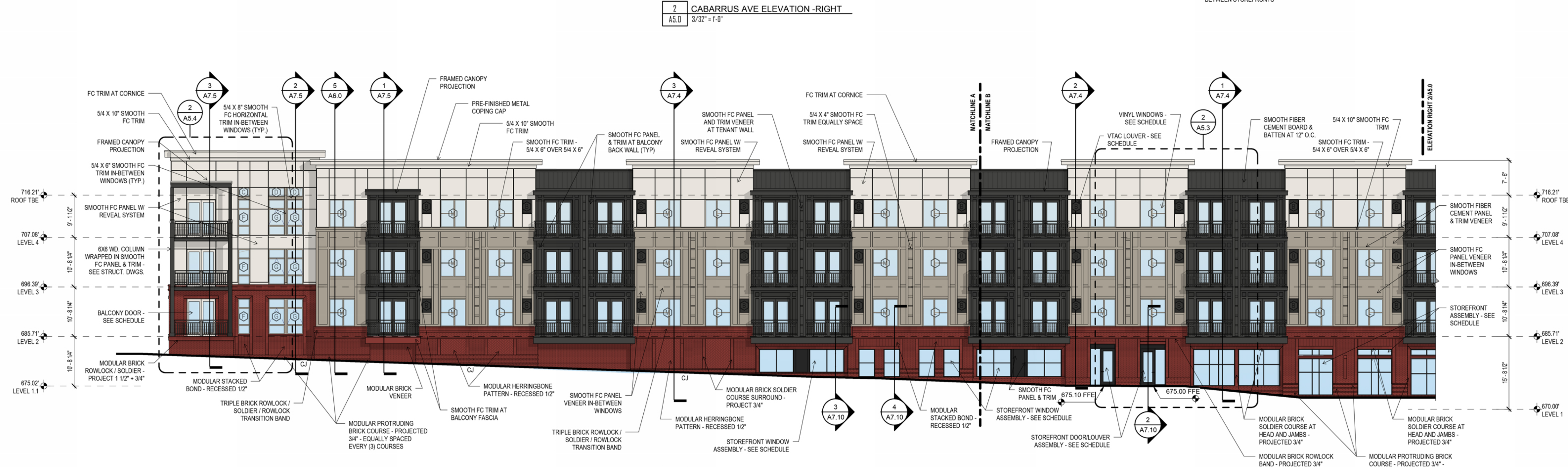
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- PROVIDE MATERIAL SAMPLES AND PAINT SAMPLES FOR REVIEW PRIOR TO CONSTRUCTION OF MOCK-UP WALL. FINAL APPROVAL OF MATERIALS WILL BE GIVEN AFTER COMPLETION OF THE MOCK-UP WALL. SEE A13.0.
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 - ALL BALCONY RAILS TO BE PRE-FINISHED (AAMA 2604) ALUMINUM. COLOR TBD.
 - ALL MISCELLANEOUS METALS (SCUPPERS, DOWNSPOUTS, COPING) TO BE (COLOR).
 - REFERENCE CIVIL / LANDSCAPE DWGS. FOR ADDITIONAL INFORMATION.
 - REFERENCE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
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B-1: MODULAR BRICK VENEER
GENERAL SHALE - FULL RANGE RED WIRECUT OR BURGUNDY WIRECUT IRONSPOT MORTAR - MATCH BRICK COLOR
- EXTERIOR SIDING AND TRIM VENEER:**
F-1: FIBER-CEMENT PANELS & TRIM
JAMES HARDIE H210 SMOOTH FINISH PANELS & TRIM. PRIMED FOR PAINT (SEE ENLARGED ELEVATIONS & SECTIONS FOR TRIM SIZE INFORMATION)
- WINDOWS:**
ALUMINUM STOREFRONT: BLACK
VINYL:
PLYGEM 1500 SERIES. CLAY EXTERIOR W/ WHITE INTERIOR
ALTERNATE: WHITE EXTERIOR W/ WHITE INTERIOR



3 NE REED STREET ELEVATION
A5.0 3/32" = 1'-0"



7 CABARRUS AVE ELEVATION - RIGHT
A5.0 3/32" = 1'-0"



1 CABARRUS AVE ELEVATION - LEFT
A5.0 3/32" = 1'-0"

171 CABARRUS APARTMENTS

LEVEL 2 DEVELOPMENT
CABARRUS AVENUE EAST AND REED STREET EAST
CONCORD, NORTH CAROLINA

PROJECT A-2311
BUILDING ELEVATIONS

JANUARY 31, 2023
REVISIONS

A5.0

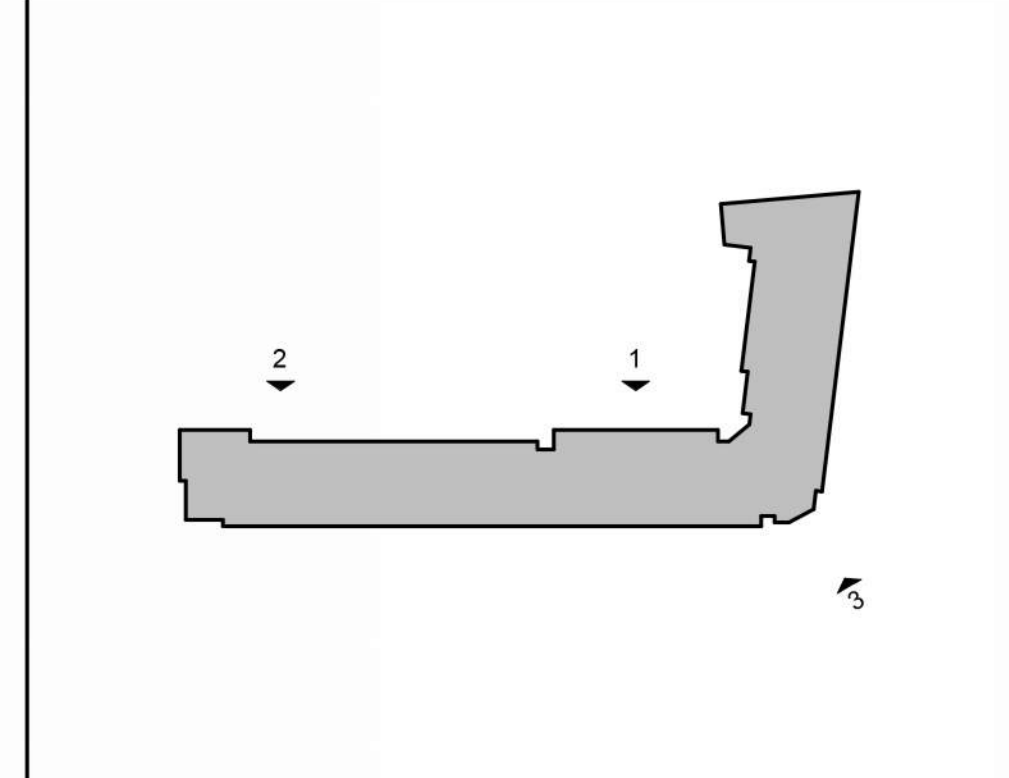
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NOT FOR CONSTRUCTION

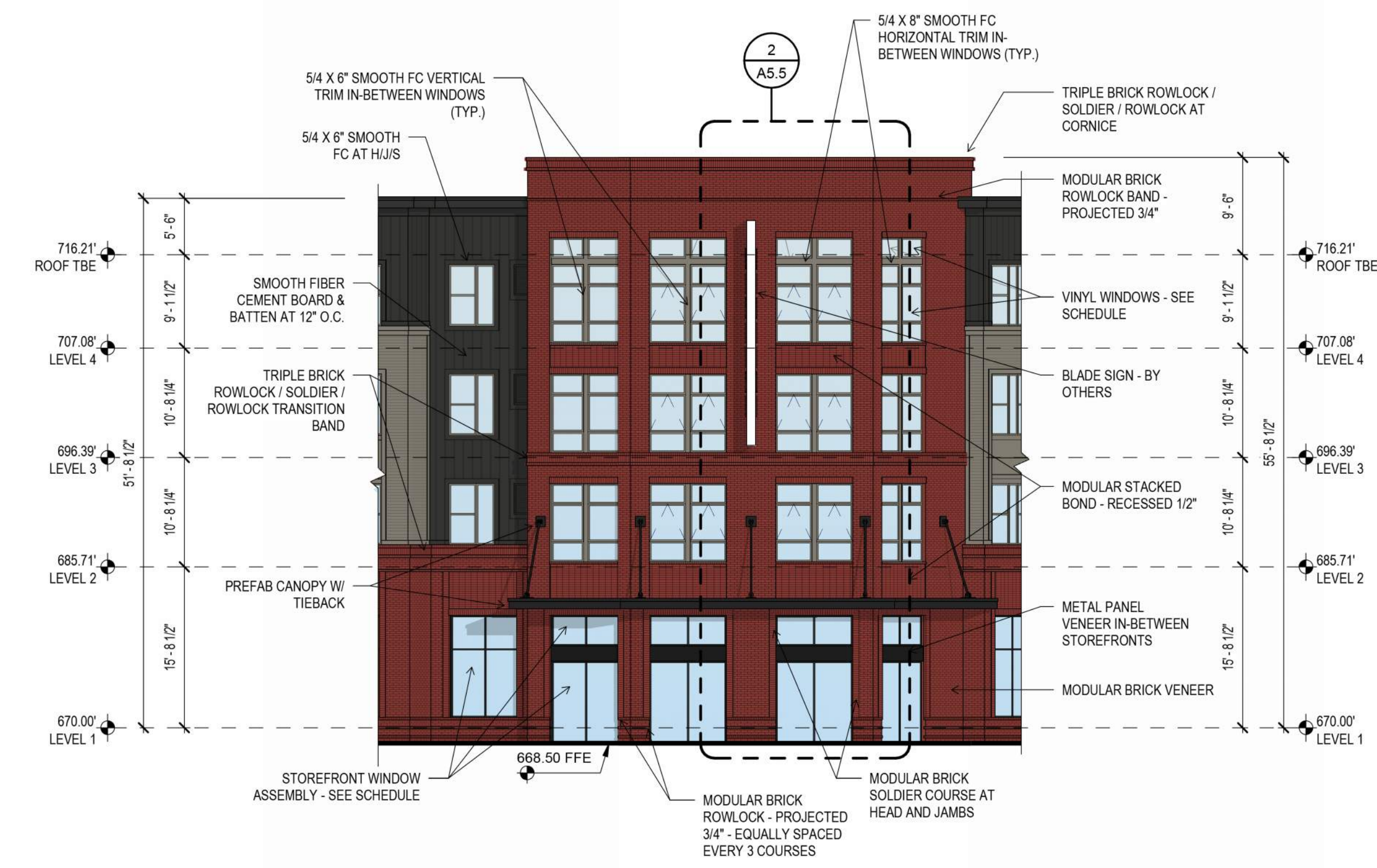
D.S. DOWNSPOUT (SEE ROOF PLAN)
C.J. MASONRY CONTROL JOINT

ELEVATION KEY



EXTERIOR MATERIAL SCHEDULE

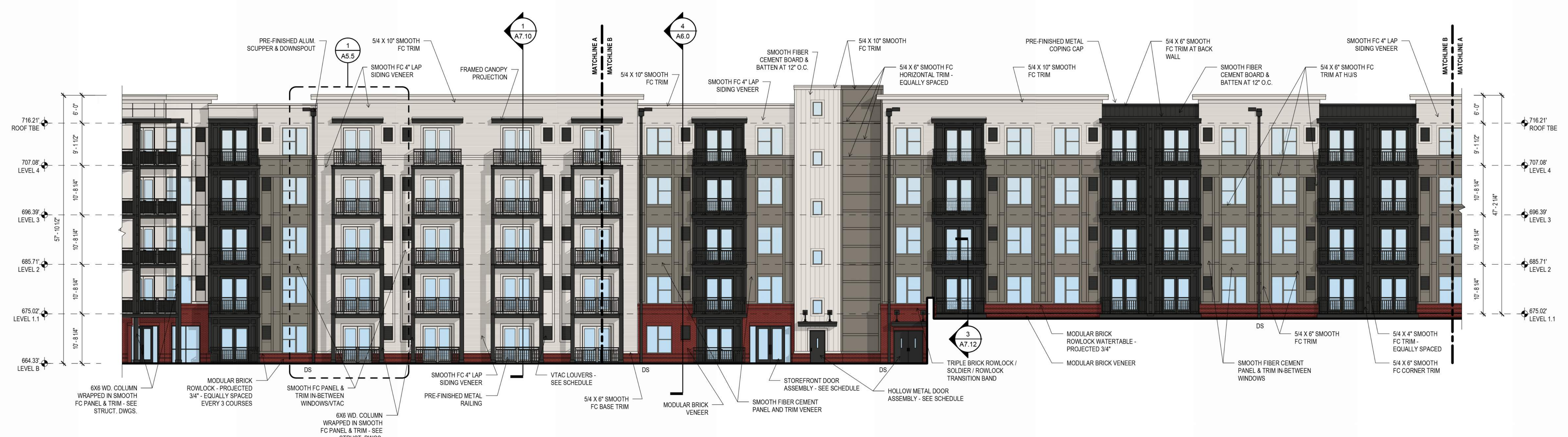
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ALTERNATE: WHITE EXTERIOR W/ WHITE INTERIOR



3 SE CABARRUS / REED ELEVATION
A5.1 3/32" = 1'-0"



2 PARKING LOT NORTH ELEVATION - RIGHT
A5.1 3/32" = 1'-0"



1 PARKING LOT NORTH ELEVATION - LEFT
A5.1 3/32" = 1'-0"

NOT FOR CONSTRUCTION

171 CABARRUS APARTMENTS
LEVEL 2 DEVELOPMENT
CABARRUS AVENUE EAST AND BEED STREET EAST
CONCORD, NORTH CAROLINA

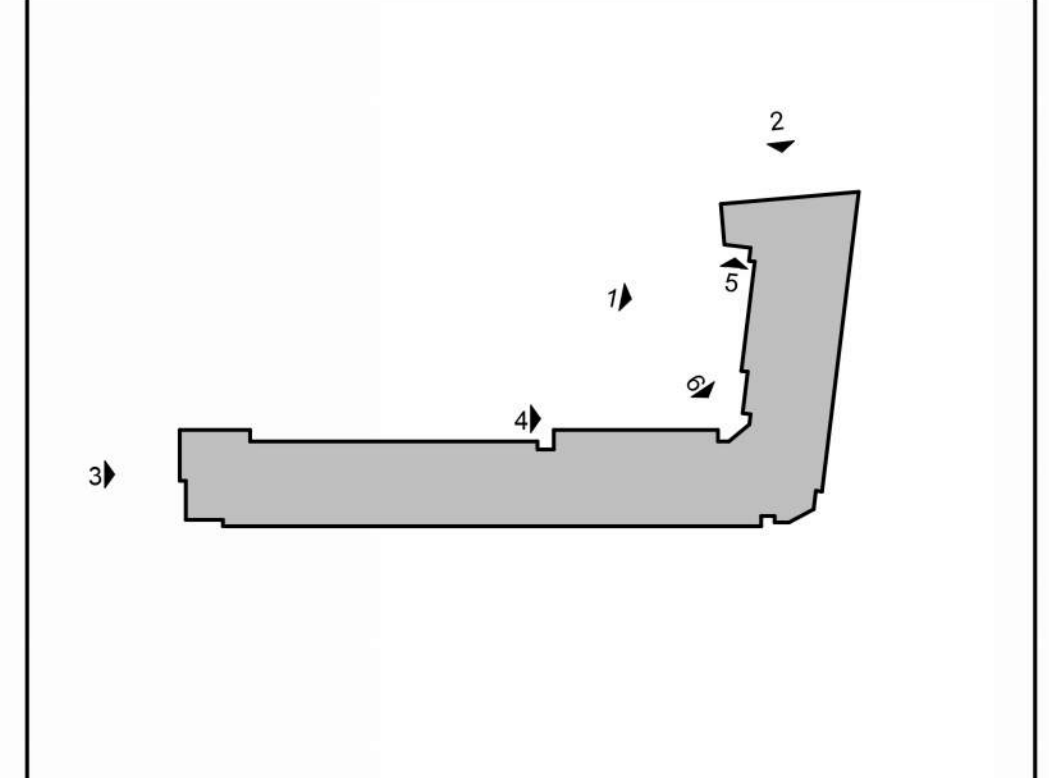
PROJECT A-2311
BUILDING ELEVATIONS
NOVEMBER 10, 2023
REVISIONS

A5.2

EXTERIOR NOTES

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- D.S. DOWNSPOUT (SEE ROOF PLAN)
C.J. MASONRY CONTROL JOINT

ELEVATION KEY

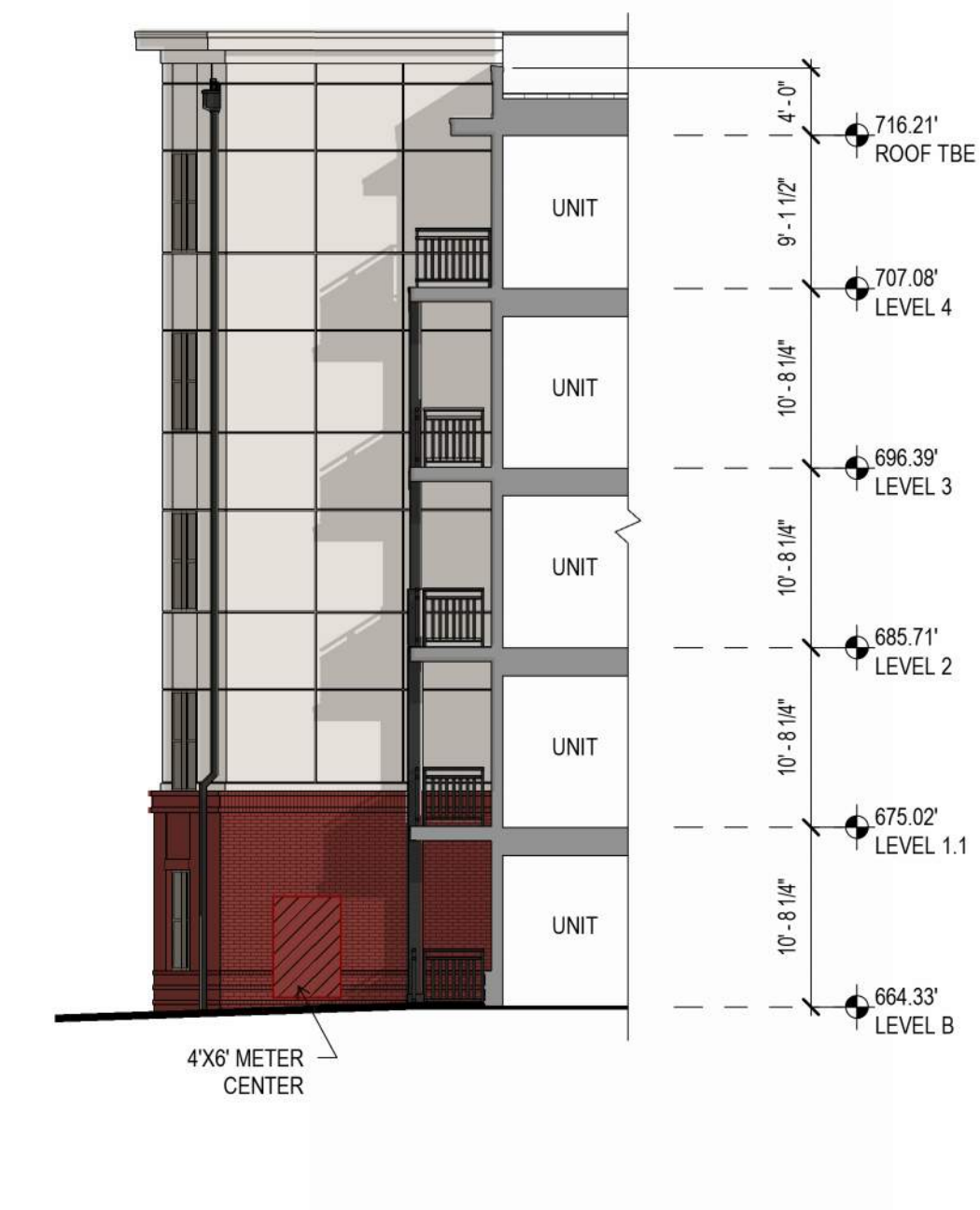


EXTERIOR MATERIAL SCHEDULE

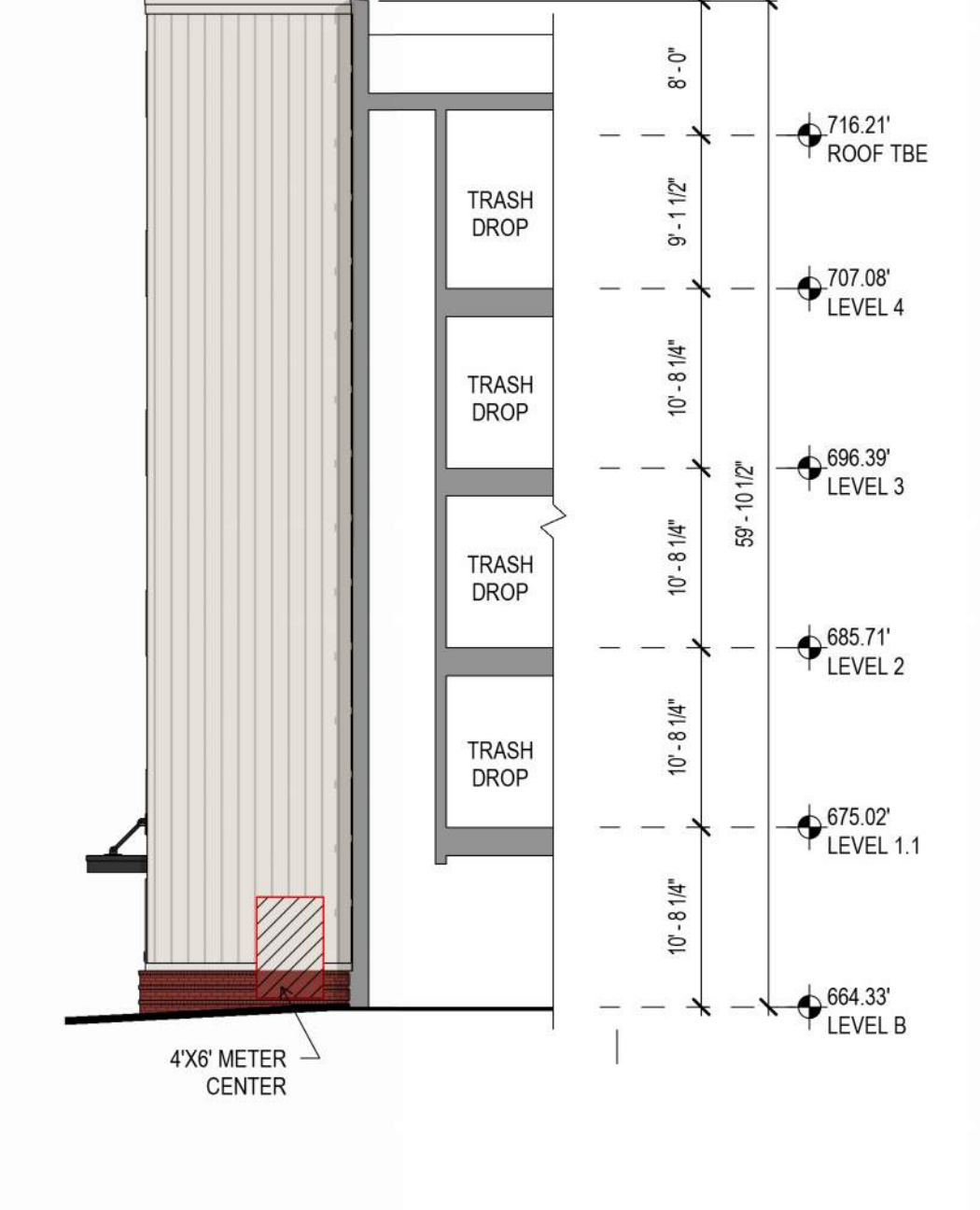
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 - REFERENCE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- BRICK VENEER:**
B-1: MODULAR BRICK VENEER
GENERAL SHALE - FULL RANGE RED WIRECUT OR BURGUNDY WIRECUT IRONSPOT MORTAR. MATCH BRICK COLOR.
- EXTERIOR SIDING AND TRIM VENEER:**
F-1: FIBER-CEMENT PANELS & TRIM
JAMES HARDIE HZ10 SMOOTH FINISH PANELS & TRIM. PRIMED FOR PAINT (SEE ENLARGED ELEVATIONS & SECTIONS FOR TRIM SIZE INFORMATION)
- WINDOWS:**
ALUMINUM STOREFRONT: BLACK
VINYL
PLYGEM 1500 SERIES, CLAY EXTERIOR W/ WHITE INTERIOR
ALTERNATE: WHITE EXTERIOR W/ WHITE INTERIOR



6 CLUB ELEVATION
A5.2 3/32" = 1'-0"



5 SE RETURN ELEVATION
A5.2 3/32" = 1'-0"



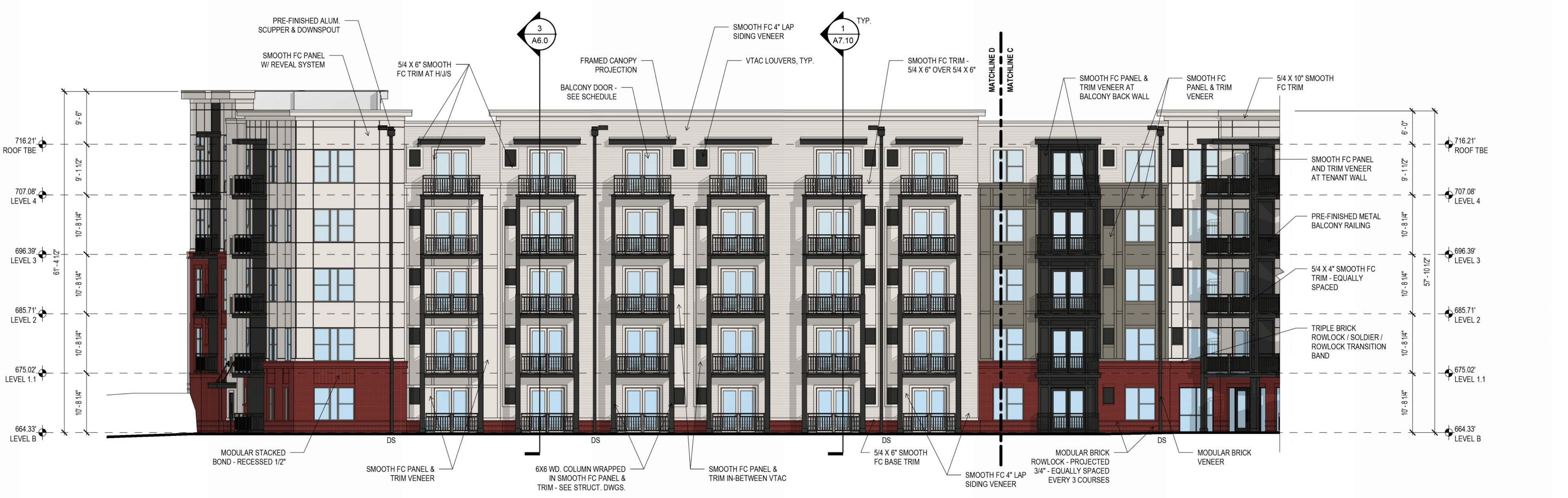
4 STAIR 2 WEST ELEVATION
A5.2 3/32" = 1'-0"



3 WEST END ELEVATION
A5.2 3/32" = 1'-0"



2 NORTH END ELEVATION
A5.2 3/32" = 1'-0"



1 PARKING LOT WEST ELEVATION
A5.2 3/32" = 1'-0"